

The
CROSSINGS
at Exum Place

RESIDENTIAL DESIGN GUIDELINES

APRIL 16, 2025

TABLE OF CONTENTS



INTRODUCTION	1-1	GENERAL PROVISIONS	4-1
		MASSING & COMPOSITION	4-2
COMMUNITY GUIDELINES	2-1	ROOFS	4-3
PHASE 1 SITE PLAN	2-2	GARAGES	4-4
GARAGE DESIGN & SITING	2-3	PORCHES	4-5
LOT STANDARDS - FRONT LOADED		COLUMNS & RAILINGS	4-6
AVENUE LOTS	2-4	ENTRIES & DOORS	4-7
LOT STANDARDS - REAR LOADED		WINDOWS	4-8
GARDEN, COTTAGE, & PARK LOTS	2-5	SHUTTERS & DORMERS	4-9
GENERAL SITE PROVISIONS	2-6	CORNICES, RAKES, EAVES & CHIMNEYS	4-10
		EXTERIOR MATERIALS	4-11
ARCHITECTURAL STYLES	3-1	EXTERIOR LIGHTING, ADDRESSING, ETC.	4-12
INTRODUCTION	3-2		
FARMHOUSE	3-3		
ENGLISH	3-4		
CRAFTSMAN	3-5		
ACADIAN	3-6		
CLASSICAL	3-7		
COLONIAL	3-8		
FRENCH	3-9		
SPANISH	3-10		
PRAIRIE	3-11		

Prepared for:



Development:

The Crossings Partners
P.O. Box 12555
Jackson, TN 38308

Prepared by:



175 Toyota Plaza, Suite 600
Memphis, TN 38103
T 901 521 1440
www.lrk.com

INTRODUCTION

These Residential Design Guidelines are intended to help create a complete community of streetscapes and buildings, based on proven American town building principles. While each building shall stand on its own design merit, each individual building will contribute to the desired community character so that the compatibility, long-term quality and appreciation of value may be optimized. These Residential Design Guidelines are not intended to reproduce historical buildings, but result in streetscapes featuring a variety of distinct but harmonious architectural styles using timeless design principles, modern materials and current building practices.

These guidelines are intended as a general and occasionally specific guide to owners, architects, and builders for the style, character, and level of quality required for homes and improvements within The Crossings at Exum Place.

The guidelines are provided to illustrate the intended design character of the neighborhood. While the images and elements contained herein are not fully comprehensive in scope, they will be used by the Architectural Review Committee (ARC) as a standard for reviewing new homes or improvements. The ARC will have the exclusive authority to define any term or interpret the applicability of any item or component, in part or in whole, contained in the Residential Design Guidelines.



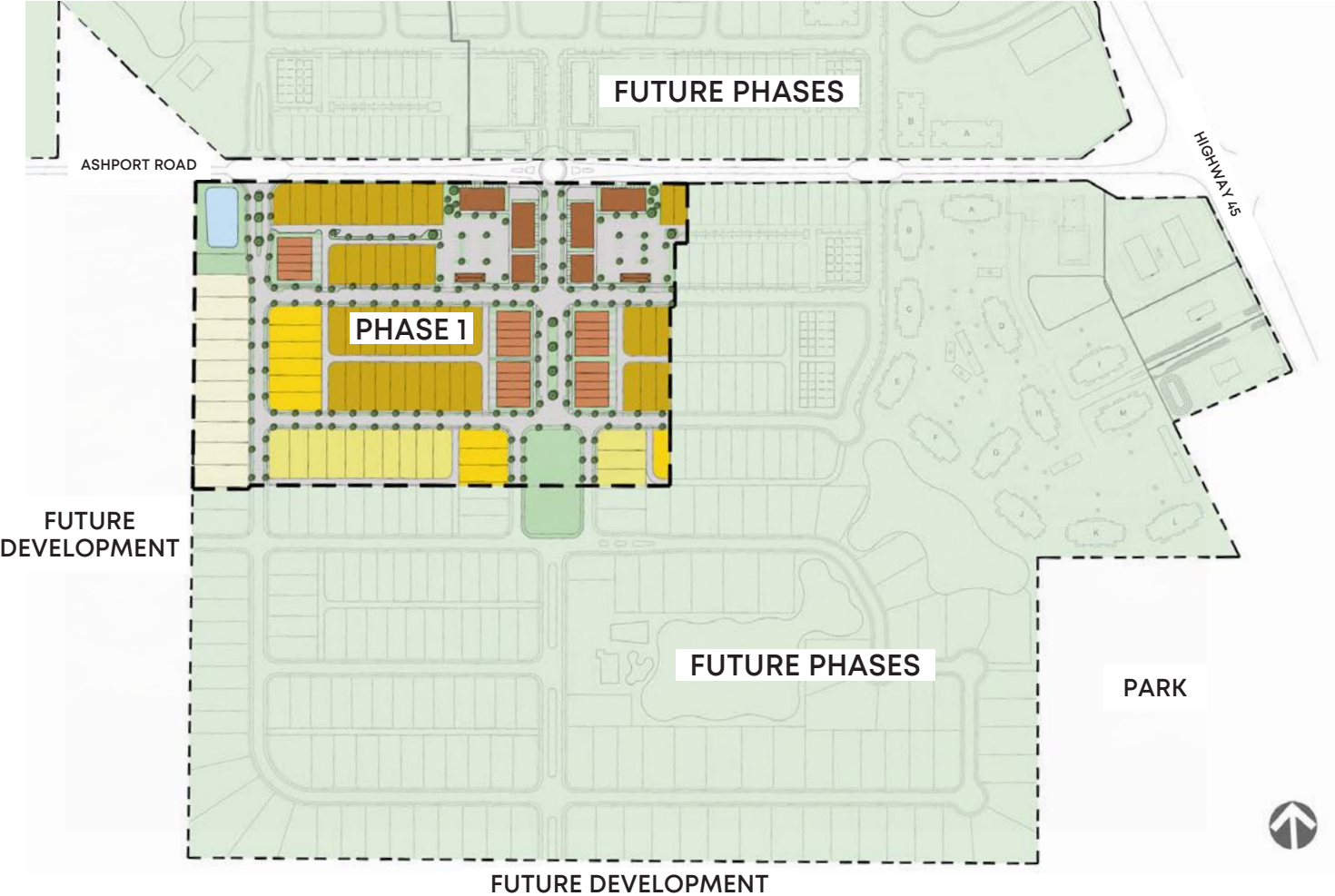
These Residential Design Guidelines have been produced in an 11" x 17" color format. The use of these Residential Design Guidelines, including information and imagery contained within, is solely at the risk of the user. The ARC and its employees and agents shall have no liability or responsibility to any party in connection with the use of these Residential Design Guidelines or for comments, suggestions and/ or redesigns from the actual design review process. Any person or entity using these Residential Design Guidelines shall:

- Independently evaluate any design image, character, element, material or detail contained herein, and ascertain its suitability for such person's or entity's intended use.
- Ensure that all designs prepared in connection with the use of these Design Guidelines meet all applicable regulations of Federal, State, and local requirements, including, but not limited to, all applicable zoning, building construction codes, accessibility requirements, fire sub-code and other life safety provisions necessary for the intended use of any property.
- Retain the services of a qualified architect or design professional that is approved by the ARC. Contractors must be licensed in the state of Tennessee and must be approved by the ARC.



COMMUNITY GUIDELINES

The community guidelines provide information for the placement and orientation of buildings, the location and screening of services, and building frontages. These elements apply to all residential buildings, and contribute to the overall character and efficiency of The Crossing at Exum Place.



PHASE 1 SITE PLAN	2-2
GARAGE DESIGN & SITING	2-3
LOT STANDARDS - FRONT LOADED AVENUE LOTS	2-4
LOT STANDARDS - REAR LOADED GARDEN, COTTAGE & PARK LOTS	2-5
GENERAL SITE PROVISIONS	2-6

PHASE 1 SITE PLAN

SPECIAL CONDITION LOTS

Special Condition Lots are typically located at street corners, at the end of a street intersection or view corridor, and/or against a street or pedestrian path edge that defines common space. Homes on Special Condition Lots have a greater impact upon the overall character of the community due to the of high visibility to either the front and/or the side facades of these homes. Homes on special condition lots may be reviewed to a higher “design tier” standard.

● HOMES ON CORNER LOTS & LOTS WITH MULTIPLE FRONTAGES

- » Architectural character, materials and detailing shall continue from the front facade around the corner to the corner side facade appropriately addressing both primary and secondary street frontages.
- » Two story homes with wrap around porches or other architectural massing such as projecting bays or forms are required to articulate the corner side facade.

● HOMES ON LOTS THAT TERMINATE VIEWS

- » The main body of the house shall be prominent and align with the street axis. Such homes shall not align a front loaded driveway or garage doors with the vista or axis when available.
- » Two story homes are required on these lots and are encouraged to have a porch or defining element.

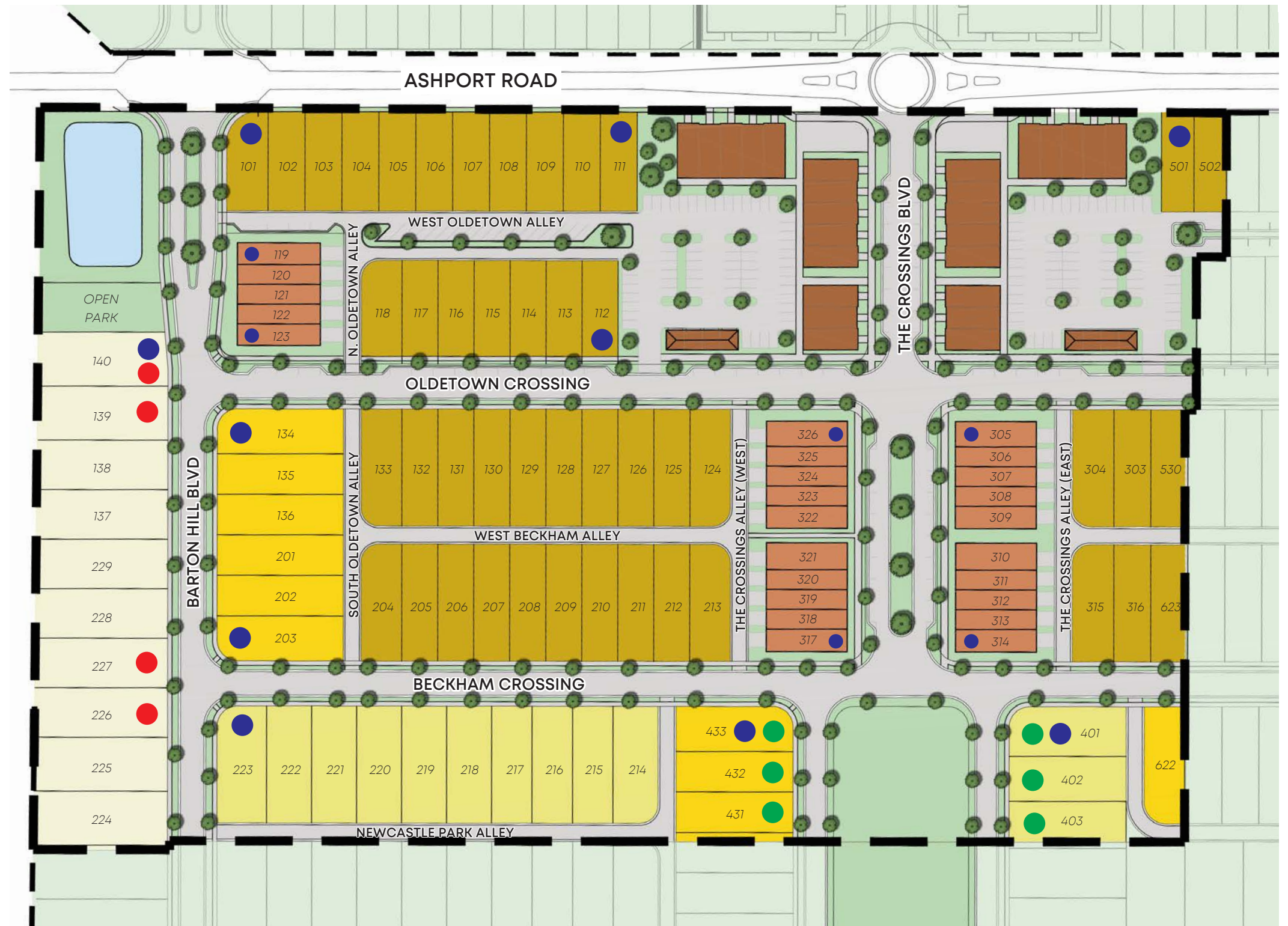
● HOMES ON LOTS THAT DEFINE COMMON SPACE

- » The homes and entries shall be sited to front towards the common space so they clearly define the space and create the ‘feeling’ of an attractive ‘outdoor room’.
- » These homes shall provide interesting and appropriate facade articulation, which may include porches, bay windows, and other elements which respond to both the street and the common space.

VARIETY & REPETITION

A variety of individual architectural designs with their respective appropriate details, materials and colors are encouraged to create a unique overall compelling streetscape character at the community scale.

- » No identical houses on same block, either side of the street are permitted.
- » Building footprints including porches and entry locations, shall generally vary from adjacent homes.
- » For attached units, architectural styles shall be applied by building rather than by the individual unit. Units with shared walls shall be elevated with the same architectural style.
- » Identical colors shall not be repeated within the same block with the exception of white.
- » A change in color or mirroring the elevation does not constitute a change in the elevation.



Note: The above graphic is meant to be illustrative only and is subject to change.

- Garden Lots
- Cottage/Park Lots
- Park Lots
- Avenue Lots

GARAGE DESIGN & SITING

Inappropriate



Appropriate



GARAGE DESIGN

- » The location, massing and scale of a garage shall not compete with or overwhelm the primary body of the house. Garage forms, design, materials and detailing shall be similar in quality to the house. A garage which is visible from the street or public view shall receive careful design attention and shall complement the primary facade. Ancillary units located on second floor of garage or within upper attic areas of garages are appropriate.

REAR LOADED GARAGES

- » Driveway access to primary or side streets is not allowed from lots abutting an alley. Garage forms, design and detailing must compliment, albeit in a simplified fashion, the primary facade elements of the building. To the extent possible, garages, landscaping, fencing or walls should be used to close down (sited at minimum rear setback) alley openings and limit views from public streets and spaces. Garages facing the alley shall be setback 5 ft. or 18 ft. or greater from the rear property line. 18 ft. is preferred for additional parking spaces off street.
- » Special attention shall be given to the design of alley access garages so that the slope variance from the alley to the finished floor level of the garage is not excessive. Space shall be allocated in the garage for allowance of steps into the house.
- » Minimum of one (1) exterior decorative light fixture operated by a photocell, shall be provided along the rear facade of each garage. The required alley lights shall not be on switch to allow for uniform ambient lighting at night. Additional flood lights are permitted but shall be mounted no higher than first floor plate height. All alley and rear yard lighting shall have shields to prevent light spillage into neighboring yards.

FRONT LOADED GARAGES

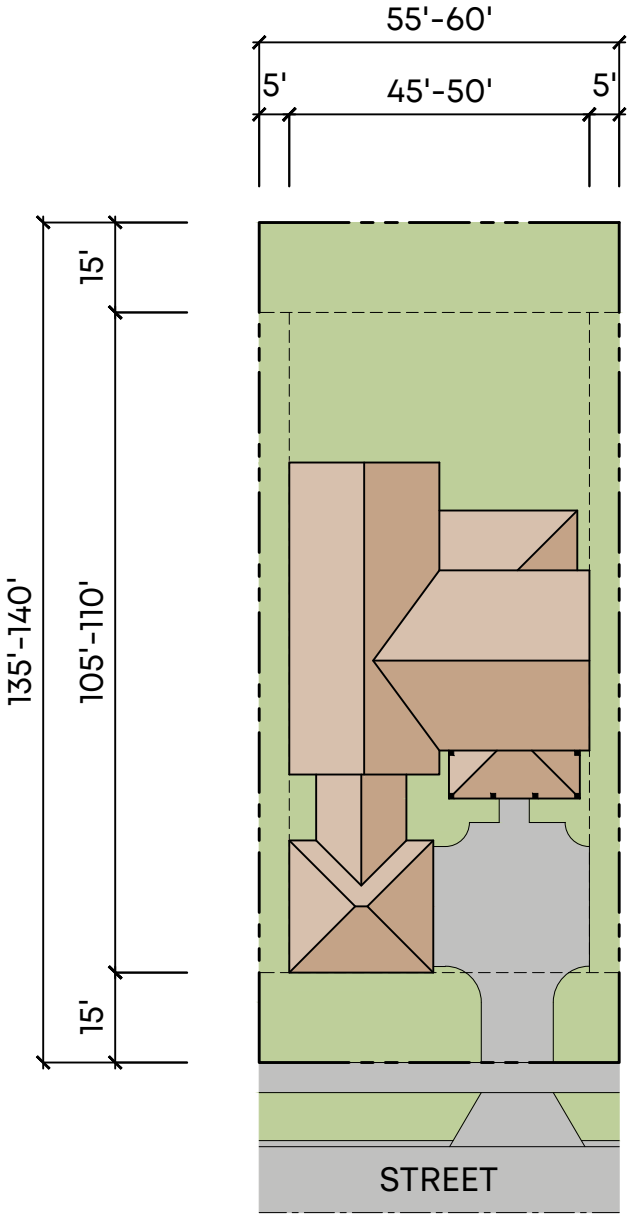
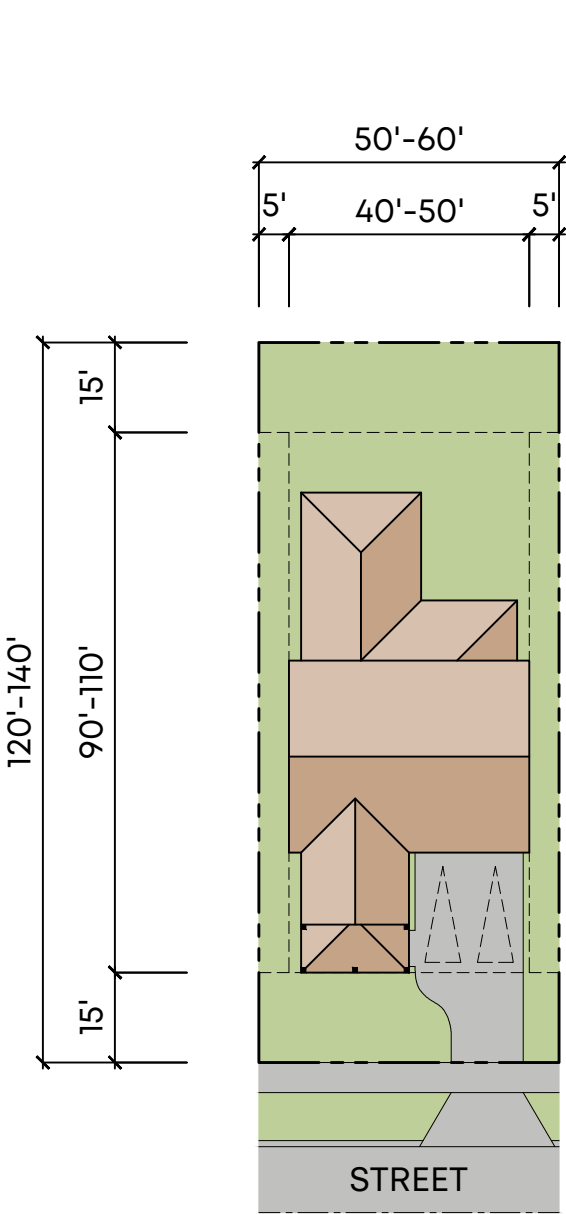
- » To the side of the primary house, but set a minimum of 10' behind the main facade of the house, not including the front porch. Garage doors are preferred to be deeply recessed or have a deep overhang, shed roof, or pergola cover.
- » Front facing street access garage doors to be 9' minimum width and 12' maximum width.
- » Front auto courts are acceptable if the garage form, scale, proportion, materials, and details complement the primary house. Auto court garages will be scaled as secondary forms and will not compete with or overpower the primary house.
- » Driveway widths should narrow at the property line and not exceed 12-feet in width at the street.
- » Driveway curb cuts are pre-determined. See matrix for location and field verify. See general site provisions for apron and driveway materials.

LOT STANDARDS - FRONT LOADED LOTS

50' - 60' FRONT LOADED AVENUE LOT

TYPICAL LOT DIMENSIONS	
Lot Width	50' - 60'
Lot Width at Corner	60' - 70'
Lot Depth	120' - 140'
SETBACKS	
Front Yard	15' min.
Rear Yard	15'
Side Yard	5' min.*
Side Street	10' min.
NOTES	

Front-facing garages shall be set back a minimum of 10' from the primary mass of the home, not including the porch.

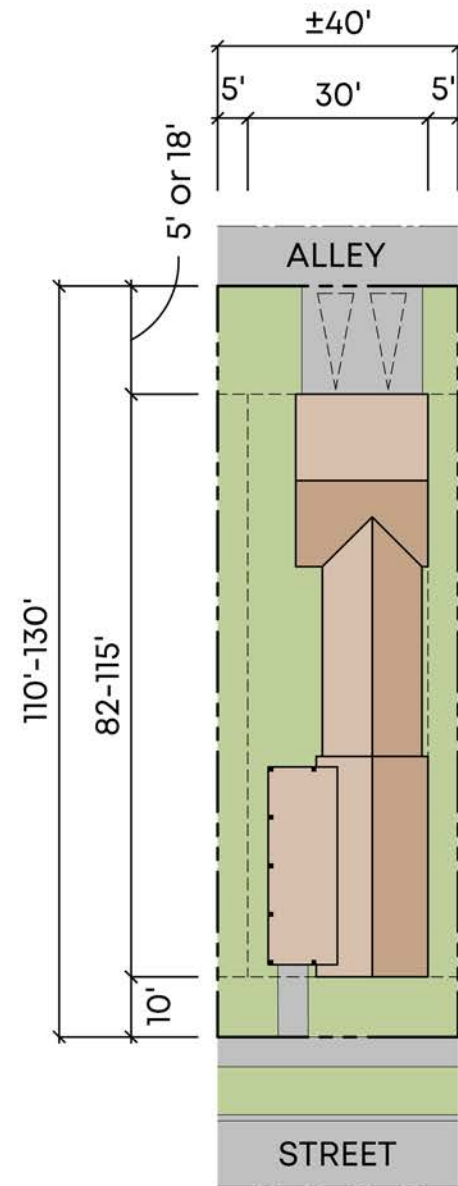


55' - 60' FRONT LOADED MOTORCOURT AVENUE LOT

TYPICAL LOT DIMENSIONS	
Lot Width	55' - 60'
Lot Width at Corner	65' - 70'
Lot Depth	135' - 140'
SETBACKS	
Front Yard	15' min.
Rear Yard	15'
Side Yard	5' min.*
Side Street	10' min.
NOTES	

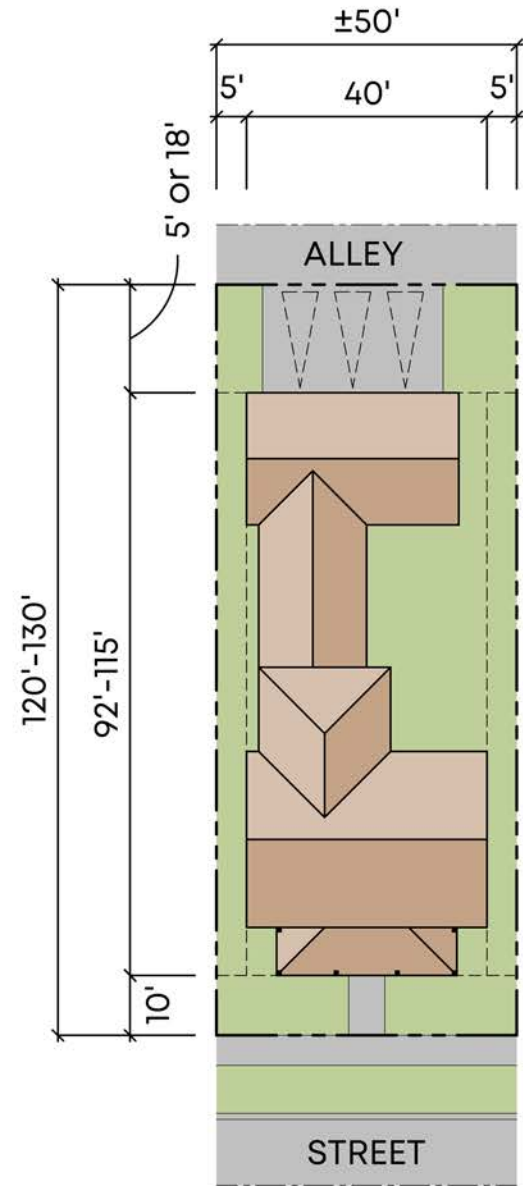


LOT STANDARDS - REAR LOADED LOTS



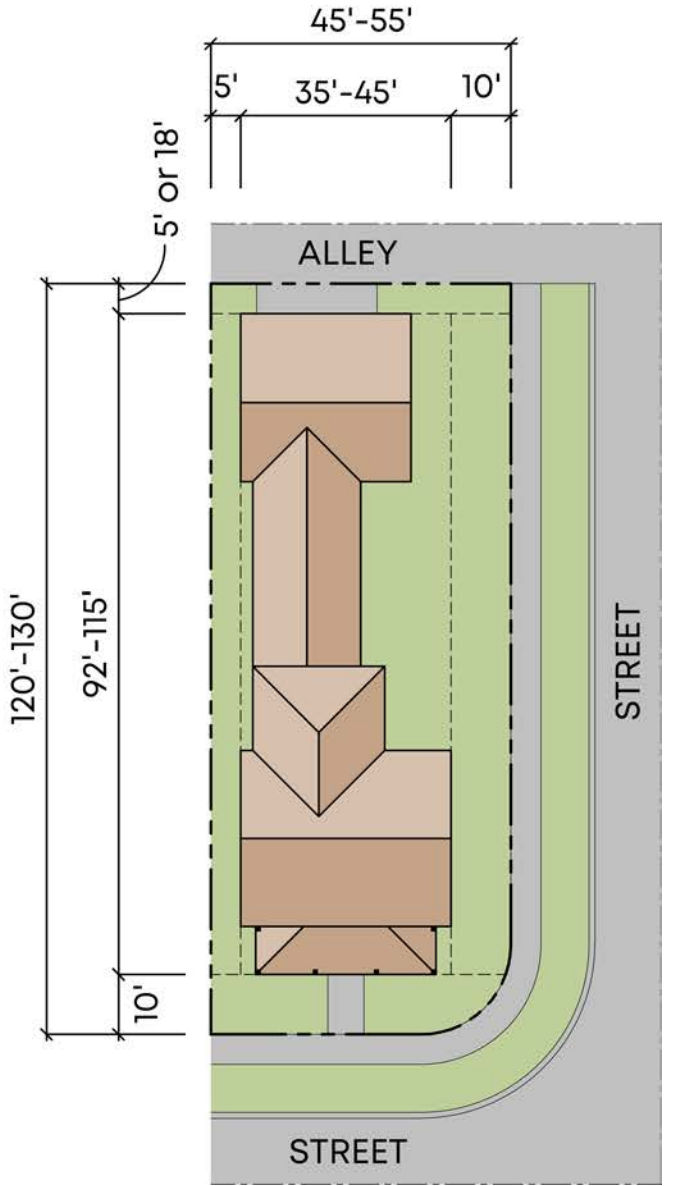
40'-45' REAR LOADED GARDEN & COTTAGE LOT

TYPICAL LOT DIMENSIONS	
Lot Width	+/-40'
Lot Width at Corner	50' – 55'
Lot Depth	110' – 130'
SETBACKS	
Front Yard	10' min.
Rear Yard	5' or 18'
Side Yard	5' min.*
Side Street	10' min.
NOTES	



50' REAR LOADED PARK LOT

TYPICAL LOT DIMENSIONS	
Lot Width	+/-50'
Lot Width at Corner	60' – 65'
Lot Depth	120' – 130'
SETBACKS	
Front Yard	10' min.
Rear Yard	5' or 18'
Side Yard	5' min.*
Side Street	10' min.
NOTES	



45'-55' REAR LOADED CORNER GARDEN, COTTAGE, OR PARK LOT

TYPICAL LOT DIMENSIONS	
Lot Width	45'-55'
Lot Width at Corner	50' – 55'
Lot Depth	120' – 130'
SETBACKS	
Front Yard	10' min.
Rear Yard	5' or 18'
Side Yard	5' min.*
Side Street	10' min.
NOTES	

*Side yard setback not to exceed 10' as located in the front 35' depth of each lot. The home beyond the 35' front facade zone may be placed anywhere on the lot within the standard setbacks. Fencing, walls or other architectural features may be required if the full frontage is not utilized.

GENERAL SITE PROVISIONS



ALLOWABLE ENCROACHMENTS

- » Driveways, leadwalks and steps can encroach setbacks.
- » Chimneys, bay windows, porches, brick veneers and garages can encroach setbacks 24" maximum, not including utility easements.
- » All building code fire rating requirements should be adhered to in relation to property lines and building separation.

FENCES

- » Front yards and side yards along a street may have a fence or hedge provided that its maximum height does not exceed 36" and its face is located a minimum of 18 inches from the sidewalk edge.
- » Fences shall be PVC or bronze/black aluminum picket and consistent color to be determined by developer. Wood fences unless of a high quality material and design are not allowed.
- » Privacy sideyard fences along a street may be up to 6 ft. in height with the bottom 4 ft. solid and the upper 2 ft. 50% open.
- » Privacy sideyard fences along a street shall not be located within the sideyard setback or forward of the back of the main body of the house at corner lots.
- » Privacy sideyard fences between lots shall be a minimum 15 ft. setback from the front main body of the house, not including the porch.
- » Continuous landscape hedge required at all street and alley facing fence panels.

TRASH CONTAINERS

- » Recycling and trash containers shall be stored within the garage or hidden from view.
- » If the driveway orientation is conducive, a concrete pad and a 5' screening fence shall be constructed to allow the homeowner to store the trash containers outside of the garage.
- » A concrete pad for 'parking' waste containers shall be constructed with landscaping hedge or fence to screen trash.

LOT DRAINAGE REQUIREMENTS

- » Builder shall maintain the drainage pattern as designed by the civil engineer and approved plans by the Jurisdiction. Builder shall not alter drainage pattern of the lot. It is required that all roof drains are tied into French drains on 40' wide lots and townhouse lots.
- » Tree and grass strip to be irrigated by the builder along with the front yard of the lot. Metering shall be individual per lot.

STREET TREES

- » Refer to developer for street tree requirements and specs, to be installed by builder.
- » Spacing of street trees to be max 50' apart.
- » All lots shall have 1 street tree minimum installed by builder between sidewalk and property line.

PAVING

- » All paving materials for front walks and driveways shall be approved by the Town Architect. The use of toned or colored concrete or masonry pavers requires approval by the Town Architect. Standard broom finish concrete is acceptable. Bituminous concrete (blacktop) is not permitted.
- » See lot diagrams for driveway configurations.
- » Front loaded driveways from curb to back of sidewalk shall be broom finished concrete. Color and mix consistently to be standard throughout community.

UTILITY/EQUIPMENT

- » Electrical and gas utility meters and A/C compressors shall be unobtrusively located toward the rear (min. 16' behind front facade) of house and screened from public view by landscaping or appropriate fencing. A/C units shall be located on the same side as the courtyard to minimize sound transfer to neighboring courtyard. Transformers on individual lots shall be screened with landscaping to minimize visual impact.

OTHER SITE CONSIDERATIONS

- » Satellite dishes, antennae and play equipment must be located out of public view.
- » Pools, spas and accessory structures shall match or compliment the home design and detailing. Prefab storage buildings are not allowed.
- » In the initial design, each lot should provide intent for a terrace and patio space to illustrate the functional aspects of the courtyards therefore allowing for terraces, patios, rear covered porches, fountains, firepits, seating areas, etc.

ARCHITECTURAL STYLES

The Crossings at Exum Place includes a variety of styles to create a rich, interesting mix of homes. The photographs in this chapter provide examples of the key characteristics and details associated with each of the architectural styles. It is intended that these details be applied across a variety of building types (attached, front loaded, and rear loaded) at a variety of price points. The focus of the photographs is to show the correct details and in some cases, not all building types have been included for each style.

INTRODUCTION	3-2
FARMHOUSE	3-3
ENGLISH	3-4
CRAFTSMAN	3-5
ACADIAN	3-6
CLASSICAL	3-7
COLONIAL	3-8
FRENCH	3-9
SPANISH	3-10
PRAIRIE	3-11

INTRODUCTION



Intent of Style Guidelines

These Residential Design Guidelines are intended to create a complete integrated community of streetscapes and buildings that are based upon time-tested, regional design principles. While each building shall stand on its own design merit, it is intended that each individual building shall also contribute to the desired overall community character. These Residential Design Guidelines are not intended to reproduce historical buildings, but rather result in streetscapes featuring a variety of distinct but harmonious architectural styles using timeless design principles, modern materials and current building practices.

In keeping with the regional historical architecture, The Crossing's architecture adapts the patterns and vocabularies in order to respond to the local influences of lifestyle, climate, and geography. Just like the great traditional towns of the South, The Crossings is not locked in time, yet it will maintain the forms, elements, and aesthetics that have successfully stood the test of time. The architectural language of The Crossings reflects an interpretation of the dialect: acknowledging its traditional origins but responding to modern sensibilities.



FARMHOUSE



The Farmhouse style is a contemporary interpretation of the regional Tennessee and southern vernacular house designs that drew from the simple Folk Victorian style of rural America.

FACADE COMPOSITION

Symmetrical and balanced asymmetrical compositions with simple lines and little ornamentation.

MATERIALS AND COLOR

Exterior cladding is typically smooth finished wood or cementitious lap siding with 4" to 7" exposure or board and batten siding with 12" to 16" exposure.

Brick or stone is occasionally used as exterior cladding but is more commonly found as part of a water table detail.

Colors are typically light colors with white trim, whites with white or dark trim and dark accents, or varied earth tones, brick, or stone with light trim. When used, brick cladding is typically painted.

Roof colors are typically red, brown, green, gray, or charcoal.

PORCHES

Porches are a prominent feature of this style and are typically a simple one-story porch with simple square or chamfered post 8" to 12" in width.

Porch bays are typically vertical in proportion.

Porch surface may be brick, wood/composite T&G, or broom finished concrete with overhang edge.

ROOFS

Roofs are moderately to steeply-pitched ($\geq 8:12$)

Roof forms are typically gabled.

CORNICES, EAVES, & RAKES

Simple eaves with no eave returns on the gable end.

Typical rafter tails or closed soffits that follow slope of the rafters.

DOORS & WINDOWS

Windows are vertically proportioned equal sash single- or double-hung windows with 2 over 2, 4 over 4, or 1 over 1 pane configurations. Fixed single-pane windows are occasionally used as accents.

Doors are typically either solid with 2, 3 or 4 raised panels; or 1/2 to 3/4 glass with panes of similar size and proportion to the windows.

SHUTTERS

Not typical, but if used, are raised panel, louvered, or board and batten.

DORMERS

Shed or gable.

ENGLISH



The English style is an interpretation of the Tudor, French Country, and other picturesque European styles that derived from the Medieval Revival and English Renaissance styles of the 16th and 17th centuries.

FACADE COMPOSITION

Facades are typically asymmetrical and commonly L-shaped with a front-facing gable. There is often a dominant central massing with added secondary dependencies.

MATERIALS AND COLOR

Exterior cladding is typically brick, stone, or light-colored stucco, sometimes used in combination. Decorative half-timbering is occasionally used as a gable detail. Heavy trim and wood or stone lintels are common in this style. Horizontal wood or cementitious lap siding is less common.

Colors are typically brick in dark clay colors, white painted brick, or varied earth tones with varied dark trim. Roof colors are typically green, brown, or gray.

STOOPS

Entries are typically recessed with a small brick, stone or broom finished concrete stoop. Full or partial width porches are less common.

ROOFS

Roofs are steeply pitched ($\geq 12:12$). The roof form typically consists of a side gable main roof form with cross gables & dormers. Gable variations common to this style include nested, asymmetrical eaves, sweeping eaves, and clipped.

CORNICES, EAVES, & RAKES

Eaves and rakes are typically tight to the facade with shallow overhangs and with decorative brick corbels in the gable.

DOORS & WINDOWS

Elevations are typically composed of multiple window sizes, ganged windows, oversized first floor windows, and small accent windows.

Windows are typically vertically proportioned casement windows with small vertically proportioned panes. If single- or double-hung windows are used instead of casements, they shall be vertically proportioned equal sash windows with 4 over 4 or 6 over 6 pane configurations.

Doors are typically either solid or primarily solid board and batten, plank, or panel, often with a small glass pane or speakeasy. 1/2 to 2/3 glass doors are less common, but when used, shall have panes of similar size and proportion to the windows. Arched top doors are common.

SHUTTERS

Typically board and batten, occasionally raised panel.

DORMERS

Typically shed or hipped, occasionally gabled or eyebrow.



CRAFTSMAN



The Craftsman Style is rooted in the Arts and Crafts movement that influenced much of the architecture popular in the early part of the 20th Century. With an expression of the house's structure in its form and detail, Craftsman homes have been easily adapted to various regions of the country.

FACADE COMPOSITION

Symmetrical and balanced asymmetrical compositions.

MATERIALS & COLOR

Craftsman style houses are clad in a variety of materials based on regional construction practices.

Typical regional cladding includes smooth or rough finished wood or cementitious lap siding or shingles, stucco, stone, or brick. Natural and painted brick are common in this style.

Brick or stone is often used as a base for porch columns and as watertable detail.

Colors are typically light colors with white trim, light earth tones with light trim, or dark earth tones with dark trim.

Roof colors are typically red, green, brown, or gray.

PORCHES & STOOPS

Generous full or partial porches with tapered or straight square columns on stone, stucco, or brick base are a prominent feature of this style.

Typical porch column bays are horizontal in proportion.

Columns are typically tapered on stone or brick pedestals.

ROOFS

Roofs are shallow to moderately pitched (4:12 to 8:12) with deep overhangs

Roof forms are typically front or side-gabled roof. Hipped roof forms are found in the style but are less common.

CORNICES, EAVES, & RAKES

Deep eaves and rakes with exposed, often elaborate roof beams, rafter tail ends, and brackets. Closed and boxed soffits can be appropriate.

DOORS & WINDOWS

Windows are often ganged horizontally and oversized on the first floor.

Windows are vertically proportioned equal sash single or double-hung windows with multiple panes on the upper sash over a single pane lower sash. Pane configurations are 4 over 1, 6 over 3 over 1, or 1 over 1.

Small square accent windows are commonly found in gables.

Doors are typically 1/3 to 2/3 glass with panes of similar size and proportion to the windows.

DORMERS

Typically shed, occasionally gabled or eyebrow.

ACADIAN



The Acadian style emerged as a blend of French Colonial architecture with Creole and Coastal influences, becoming a prominent architectural style in Louisiana. The style was popularized in the United States during the later 20th Century.

FACADE COMPOSITION

Simple rectangular forms with a prominent front porch. Windows and doors have a regular, repetitious composition.

Typically elevated off the ground with either a water table or raised porch.

MATERIALS AND COLOR

Exterior cladding is typically brick, stone or stucco. Horizontal lap siding is sometimes used. Materials are rarely used in combination with the exception of the water table.

Roofing can vary from slate or synthetic slate, or architectural dimensional shingles with a slate shingle profile, to standing seam metal (typically painted). Slate tile at the ridge is appropriate detail for this style.

Colors are typically light to medium shades of gray with white trim, or varied earth tones with dark trim. Roof colors are typically brown or gray.

PORCHES

Generous full or engaged porches with slender round or square 8" to 12" wide columns are typical. Occasionally, columns may have stone, stucco, or brick bases; when spanning multiple floors, the ground floor columns should be larger than the columns on the upper floors.

Porch surfaces include wood, composite, brick or broom finished concrete with overhanging edge.

ROOFS

Roofs are moderately pitched (8:12-10:12). Roof forms are typically hipped, sometimes side gabled. Primary ridge lines are typically parallel with the front facade. Double pitched roofs are common.

CORNICES, EAVES, & RAKES

Simple unadorned eaves and exposed rafter tails are common.

Eaves often have a shallower pitch than the primary roof.

DOORS & WINDOWS

Windows are typically vertically proportioned casement windows with small vertically proportioned panes. If single- or double-hung windows are used, they shall be vertically proportioned equal sash windows with 6 over 6 or 9 over 9 pane configurations.

Doors are typically vertical board or 3/4 glass French doors and have panes of similar size and proportion to the windows. Arched top doors are common.

SHUTTERS

Typically louvered or board & batten shutters.

DORMERS

Typically shed, hipped, gabled, arched, or eyebrow.

CLASSICAL



The Classical Style is the American adaptation of the Georgian style brought over to the colonies by masons and carpenters in the 1700's. The American Classical style simplified the ornate classical details and introduced the use of clapboard siding in the addition to the more traditional brick cladding as seen in Charleston side-porch architecture.

FACADE COMPOSITION

Simple rectangular forms, one or two-stories, with gable or hip roof forms.

The main rectangular form may be parallel or perpendicular to the street.

Depending on the lot width, simple rectangular form wings may be appended to the main body form. These wings also have simple gable or hip roof forms matching the main body of the house.

MATERIALS AND COLOR

Exterior cladding varies between clapboard siding and brick.

Colors are typically whites with white accents, light colors with white trim, generally dark red brick with white trim or accents

PORCHES & STOOPS

Covered entry stoops, full-width 1 & 2-story porches, or "temple front" double height porch

ROOF

Low-pitched front gable (6:12), hipped, side gable with dormers (8:12 or greater)

CORNICES, EAVES, & RAKES

The cornice is generally an enclosed eave detail, consisting of a fascia with an ogee or half-round gutter applied and a frieze board below the overhang capped by a crown molding, or bed mould simulating a supporting molding.

DOORS & WINDOWS

Windows and doors typically exhibit a symmetrical composition.

Windows have either a more traditional configuration of vertically proportioned panes in a single- or double-hung window; with a 6 over 6 or 9 over 9 grid pattern.

Doors are typically half-glass, 6-panel with transom and sidelights.

SHUTTERS

Typically louvered or board & batten shutters.

DORMERS

Typically gabled or shed.



COLONIAL



This style was based upon the reinterest in the traditional architecture found on the Atlantic coast. The Colonial home is similar to the Classical style but expresses its simplicity of form and detail which communicates a formal presence.

FACADE COMPOSITION

Simple rectangular forms with clearly defined main body and 3 or 5 bays.

The main rectangular form may be parallel or on long axis with the street.

Depending on the lot width, simple rectangular form wings may be appended to the main body form. These wings also have simple gable or hip roof forms matching the main body of the house.

MATERIALS AND COLOR

Exterior cladding varies between clapboard siding, stucco, and brick.

Colors are typically whites with white accents, light colors with white trim, generally dark red brick with white trim or accents

PORCHES & STOOPS

Entry portico, side porch, or full facade double height porch

ROOF

Gabled or hipped, typically 8:12 to 10:12 pitch
Standing seam metal, asphalt shingles or slate

CORNICES, EAVES, & RAKES

The eave leaves sufficient room for a frieze board above the windows. Cornice has simplified moulding without complex detail. Overhang is between 16" and 18".

DOORS & WINDOWS

Windows and doors typically exhibit a symmetrical composition.

Windows have either a more traditional configuration of vertically proportioned panes in a single- or double-hung window; with a 6 over 6 or 9 over 9 grid pattern.

Doors are typically half-glass, 6-panel with transom and sidelights.

SHUTTERS

Typically louvered or paneled shutters.

DORMERS

Typically gabled or arch top.

FRENCH



The French Eclectic style embraces the various regional styles found across France and American interpretations in a more vernacular way which made it suitable for single family homes. Earlier French style versions (1900–1915) were more likely influenced by the elaborate Beaux Arts and Chateausque styles, whereas later houses were influenced by more modest French homes that were familiar to returning WWI soldiers.

FACADE COMPOSITION

Informal usually asymmetrical grouping of simple rectangular forms. The house can be symmetrical in which case the roof can dominate the front facade and can contain dormers.

The form of the French house can evolve from a small, narrow one-story structure to the more common three-story volume. Larger homes have additions to the sides and additional volumes projecting from the main façade to create extended symmetrical and asymmetrical forms.

MATERIALS AND COLOR

Exterior cladding varies between stucco, stone, clapboard siding and painted brick.

Colors are typically light to medium shades of gray with white trim or earthtones with dark trim.

PORCHES & STOOPS

Covered entry stoops, cantilevered balconies & “Juliette” balconettes.

Columns are rarely used.

Porch surfaces are brick, stone or broom finished concrete.

ROOF

The roofs are usually hipped and steeply pitched, (which enhances the vertical aspect) breaking to a shallow pitch near the eaves.

CORNICES, EAVES, & RAKES

Eaves are closed with an 8 to 10 inch overhang with a 6 inch fascia and small crown or cove at the intersection of the wall and soffit.

DOORS & WINDOWS

Windows are 6 or 8 lite, multi-panel casement or 4 over 4 double-hung often with segmental arched heads.

Doors are typically vertical board with a squared or arched top or 3/4 glass French doors.

SHUTTERS

Typically board and batten, occasionally raised panel.

DORMERS

Shed, small eyebrow, hip (often breaking eave line), arched top

SPANISH



The Spanish style draws from the architecture found in the Mediterranean region and was heavily influenced in the United States by the Spanish Revival in the early 19th century.

FACADE COMPOSITION

Symmetrical or asymmetrical yet balanced compositions.

MATERIALS & COLOR

Exterior cladding is typically smooth finish stucco with projected stucco, precast, or dark wood detail elements.

Colors are typically earth tones with neutral or dark trim, or white and off-white with white trim.

Roofs are typically barrel tiles in red or brown color palettes.

PORCHES & STOOPS

Porches and stoops are typically integrated into the primary massing.

Cantilevered and "Juliet" balconies are also appropriate.

Porch column bays are vertical in proportion and are typically arched.

Columns are typically square, timber, or classical orders.

ROOFS

Roofs are shallow (4:12 to 6:12) with deep overhangs.

Roof forms are typically front or side-gabled. Hipped roof forms are appropriate but are less common.

CORNICES, EAVES, & RAKES

Deep overhangs with decorative exposed rafter tails.

Tight overhangs with large, ogee shaped stucco cornice detail.

DOORS & WINDOWS

Doors are typically vertical board with an arched top. Flat or arched 3/4 glass French doors are also appropriate.

Windows are vertically proportioned, equal sash single- or double-hung with 4-over-4 pane configurations. Arched, 8-pane fixed or casement windows are also appropriate.

Grouped windows typically express the structure between.

Accent opening are typically arched or circular.

SHUTTERS

Not typical in this style.

DORMERS

Not typical in this style.



PRAIRIE



The Prairie style is an evolution of the Arts and Crafts, popularized by the early works of Frank Lloyd Wright. This style emphasizes an expression of the house's structure in its form and detail. The style's low roof lines emphasize horizontality. Prairie houses can easily be clad in a variety of materials including brick, stucco, and siding.

FACADE COMPOSITION

Asymmetrical with balanced horizontal elements.

MATERIALS & COLOR

Exterior cladding is typically brick, stucco, stone or clapboard siding.

Colors are typically earth tones with dark trim and color accents, whites and off-white with white trim.

PORCHES & STOOPS

Masonry piers, thickly tapered columns on pedestals

ROOFS

Roofs are hipped or gabled, low pitched with deep overhangs.

DOORS & WINDOWS

Doors and windows exhibit an asymmetrical, but balanced composition.

Windows are often grouped horizontally and are frequently oversized on the first floor.

Windows are hung with multiple panes at the upper sash over a single pane sash. 3 over 1, 4 over 1, 6 over 1, or "Prairie Style" (9-lite with larger central square).

SHUTTERS

Not typical in this style.

DORMERS

Not typical in this style.



GENERAL PROVISIONS

The General Provisions provide design guidelines related to the architectural design of all buildings, irrelevant of the style and specifically the elements that define the interface between private and public realms. These guidelines are intended to create a rich neighborhood character for The Crossings at Exum Place.

MASSING & COMPOSITION	4-2
ROOFS	4-3
GARAGES	4-4
PORCHES	4-5
COLUMNS & RAILINGS	4-6
ENTRIES & DOORS	4-7
WINDOWS	4-8
SHUTTERS & DORMERS	4-9
CORNICES, RAKES, EAVES & CHIMNEYS	4-10
EXTERIOR MATERIALS	4-11
EXTERIOR LIGHTING, ADDRESSING, ETC.	4-12

GENERAL PROVISIONS

Inappropriate



Lack of variety of architectural styles and forms are not appropriate.



This example appears more like two homes joined at the hip by an over scaled entry element. Lacks a sense of order, is overly complex in form and is inappropriate.



The complex roof elements, the steep pitched roof at cornice returns, the over scaled bay roof, the ill-proportioned dormer and the front entry details are all inappropriate both individually and collectively.

Appropriate



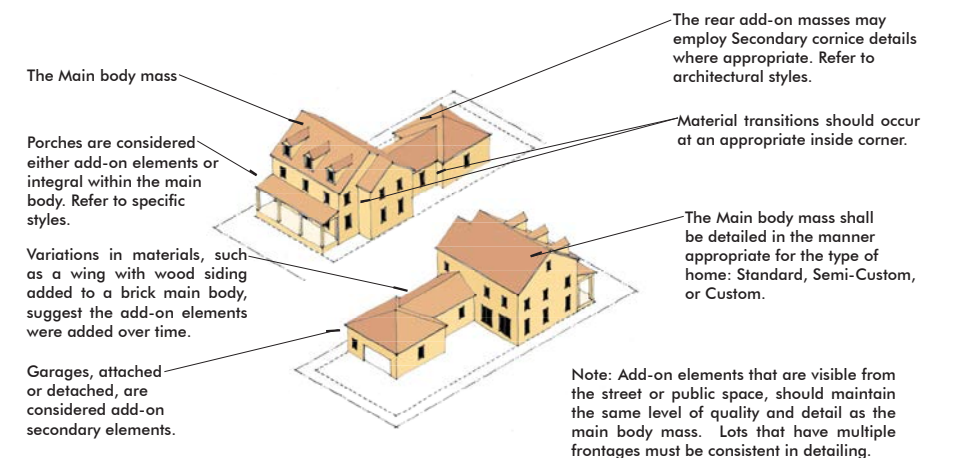
MASSING & COMPOSITION

PRIMARY MASSING

- » House designs shall generally be composed of a primary massing with secondary massings or wings that maintain a similar architectural character.
- » The primary massing shall generally be the dominant mass of the structure with the highest roof line. Primary main body massing shall not exceed 40' in width exclusive of side wings.
- » Homes shall avoid long, uninterrupted walls and roof planes, yet overly complex forms with multiple offsets and projections and the resulting multiple roof lines shall also be avoided.
- » The scale, proportion, and organization of the overall house, entries, and fenestration shall be appropriate to the architectural style.
- » Details and ornamentation shall be appropriate to a human-scaled architectural character.
- » Porch floor elevation above grade shall be a minimum of 2'-0" with main body finish floor a minimum of 2'-6" above grade at the front of the house with variances for unique conditions.
- » Ground floor ceiling heights shall be a minimum of 10'-0".
- » Upper floor ceiling heights shall be a preferred minimum of 9'-0".

SECONDARY FORMS

- » All secondary forms, elements, accessory structures, stoops, porches, courtyards, and other details shall be of the same architectural style as the main body of the home. Side wings shall step back a minimum of 8' from the main body at the front of the house.
- » Details and ornamentation may be simplified on secondary forms and rear massings where not visible from the street or other public space.



GENERAL PROVISIONS

Inappropriate



Lack of variety of architectural styles and forms are not appropriate.



This example appears more like two homes joined at the hip by an over scaled entry element. Lacks a sense of order, is overly complex in form and is inappropriate.



The complex roof elements, the steep pitched roof at cornice returns, the over scaled bay roof, the ill-proportioned dormer and the front entry details are all inappropriate both individually and collectively.

Appropriate



Roofs

ROOF MASSING & PITCH

- » Roofs shall be designed to cover and highlight the primary mass and main body form of the home. Overly complex and large forms with multiple roof lines shall be avoided.
- » Secondary roof forms shall be designed so as not to compete with or overpower the primary roof.
- » The roof pitch of the primary massing shall be appropriate to the architectural style and may vary at the rear massings.
- » Dormers, louvers, spires, or other roof elements shall be appropriate to the architectural style, properly scaled, and fully detailed to ensure the final constructed results are of the same quality level as the overall home's architecture.
- » Natural light should be captured with appropriately sized and detailed windows or dormers. Low profile skylights shall only be used when they are not visible from the street or other public space.
- » Gable and hip roofs are preferred and shall be utilized in accordance with the style of the home.
- » Other roof shapes such as gambrel or mansard shall be avoided unless appropriate to the architecture style.
- » The depth of eave and rake overhangs shall be appropriate to the architectural style.
- » Low-pitched (3:12 or less) and flat roofs shall only be used on porches or secondary forms.
- » Architectural shingles, metal standing seam, wood shakes, and slate are acceptable roofing materials.

ROOF VENTILATION

- » Continuous ridge ventilation is preferred when required. Off-ridge vents are permitted when not visible from the street or other public way.
- » Gable end vents and other decorative vent designs shall complement the overall architectural character of the home.
- » Perforated aluminum or vinyl soffit vents are not preferred and the specific material must be approved by the ARC .

GUTTERS & DOWNSPOUTS

- » Gutters, downspouts, and rain barrels may be used as part of the overall strategy to capture or drain water away from homes. All elements shall be consistent with the architectural character of the home.
- » Gutters shall be half-round or K-style and complement the cornice.
- » Downspouts shall be smooth round.
- » Downspouts shall not be located on porch columns or posts.
- » Gutters at exposed rafter tail conditions shall be half-round.

GENERAL PROVISIONS

Inappropriate



Garage is forward of main house and dominates the elevation.



Garage is forward of main house and dominates the elevation.



Stamped "false panel" steel doors are not appropriate.

Appropriate



Garages

MASSING & COMPOSITION

- » The location, massing, and scale of a garage shall not compete with or overpower the primary mass of the home.
- » The width of the garage shall not exceed more than 50% of the overall width of the home. Exceptions may be made by the Town Architect for 50' wide overall width lots.
- » Garage forms, design, materials, and detailing shall be of the same quality as the main body of the house and shall complement the home's primary facade, yet be seen as a secondary element.
- » All front facing garages shall incorporate single garage doors with 9' preferred minimal width, max. 12' width.
- » Special attention shall be given to the design of alley access garages so that any slope variance from the alley to the finished floor level of the garage is not excessive.
- » Front-facing garages shall be set back a minimum of 10' from the primary mass of the home. Porches shall not be considered the primary mass of the home.
- » Three-vehicle garage massings shall be broken down with the third bay designed as an additive massing element.

GARAGE DOOR DESIGN

- » Garage door designs shall be selected to complement the architectural style and character of the home. All front facing and J-swing garage doors shall be single doors and carriage style in design with hardware to appear operable.
- » Garage door designs and colors are subject to approval by the Town Architect.
- » At rear loaded conditions, double doors are acceptable. One double door and one single door is acceptable for three-vehicle garages.
- » Front-facing and J-Swing garage door walls shall be constructed to provide the garage door(s) with a recessed appearance.
- » Doors with "snap in false decorative arches, etc." are not appropriate.
- » Window muntins, if used, shall be true or simulated divided lites appropriate to the architectural style of the home.

GENERAL PROVISIONS

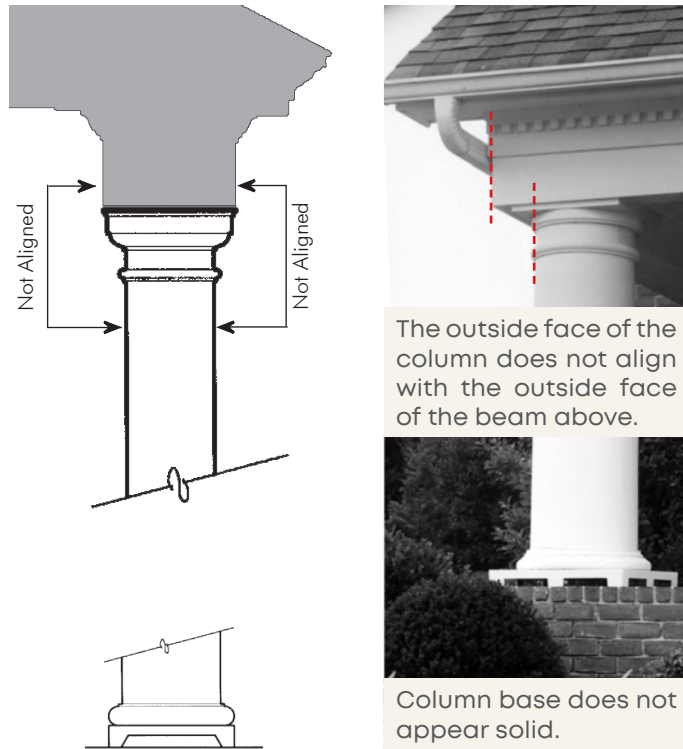


Porches

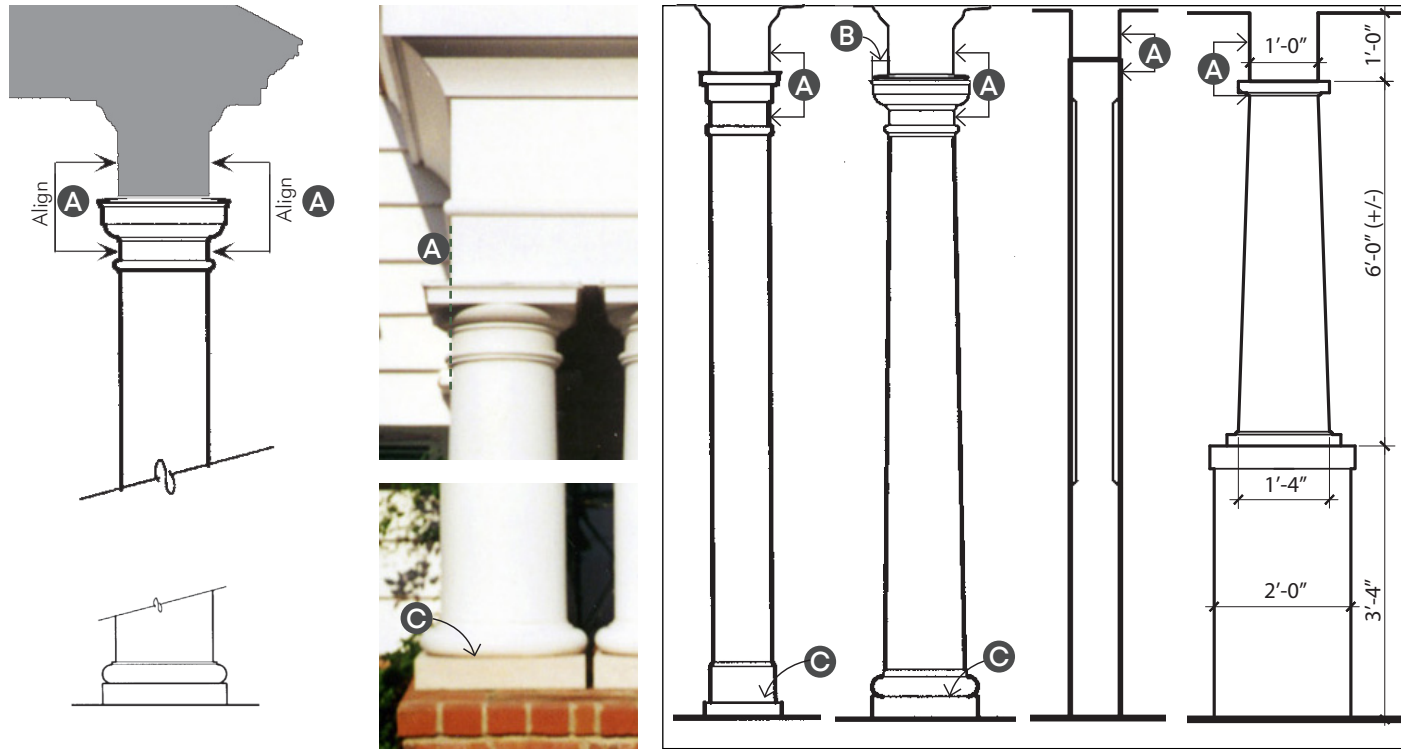
- » Porches or stoops are required on every house and may serve as either a part of an entry element and/or as an outdoor living space.
- » The width, height, scale, proportion, details, and materials of all porches or stoops shall complement the overall architectural character of the home.
- » Column bays shall maintain vertical proportions unless otherwise consistent with the overall architectural character of the home.
- » Porches and stoops shall be designed to be functional and usable, not solely as a decorative object attached to the façade of the home. Porches shall be a minimum of 8'-0" deep and 8'-0" wide, measured from the face of the wall to the face of the column. Stoops shall be a minimum of 6'-0" deep and 6'-0" wide. Variances may be considered for unique circumstances due to architectural style of home.
- » Porch floor surfaces shall be appropriate to the style of the home (typical wood, brick, stone or broom finished concrete.) Edge detail shall extend out as an overhang from the face of the foundation wall below.
- » Steps and walkways shall be designed as an integral part of the entry and shall be concrete, brick, or natural stone material consistent with the materials of the porch and home.
- » Porch steps shall be at least 5'-0" in width. If the space between porch columns is less than 6'-0", the steps shall be the full width of the bay.
- » Lead walks shall be at least 5'-0" in width.
- » Screens are permissible only at side, side street, and rear porch conditions, and shall be installed between columns with appropriate stops & trim and have a 'wood-like' appearance.
- » Fabric awnings are not permitted unless they are an essential element of the architectural style or character of the home.

GENERAL PROVISIONS

Inappropriate



Appropriate



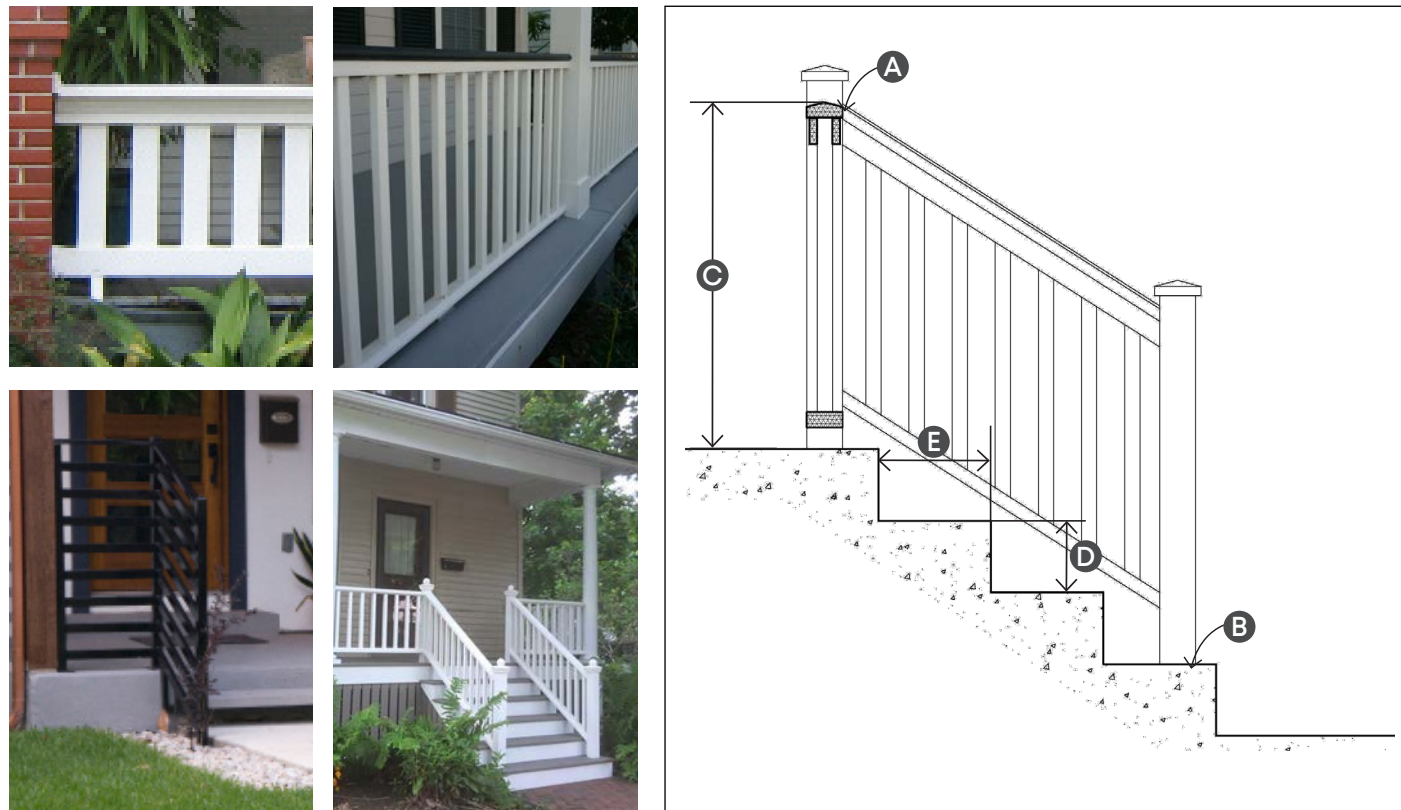
Columns

- » The appropriate selection, detailing, materials, and implementation of columns, along with their relationship to the entablature, frieze, or beam above, is critical for any architectural design.
- » Columns shall be designed to complement the overall architectural character of the home.
- » Columns shall be wood or a quality composite material. Stucco columns are not permitted unless they are appropriate to the architectural style or character of the home.
- » The face of the column shaft shall align with the face of the frieze board or beam above. **A**
- » The column cap trim shall project beyond the face of the frieze board or beam above. **B**
- » The column base trim is typically larger than the cap trim and shall appear solid. **C**
- » Visible aluminum base vent blocks, aluminum columns, or over-scaled caps and bases are not permitted.
- » Pilasters shall be used when the porch is attached to the main body as a secondary form and shall match the porch columns.
- » Pilasters are optional when the porch is integral to the main body of the house.

Inappropriate



Appropriate



Railings

- » Railings and railing materials shall be appropriate to the style of the house and porch.
- » All stair railings shall be terminated on a vertical post or column. **A**
- » Newel posts shall sit on the bottom stair tread. **B**
- » Railings shall return to the adjacent column or wall.
- » Porch railings, stair railings, and rail returns shall all use matching colors and materials. Vinyl railings shall be reviewed for use.
- » Railings shall be between 34" and 38" above the stair nosing or porch floor surface. **C**
- » Riser dimensions shall be 4" min. and 7" max. **D**
- » Tread dimensions shall be 11" min. and 17" max. **E**

GENERAL PROVISIONS

Inappropriate



Over scaled transom is too tall in proportion to the primary entrance door.



The board and batten front door is out of character with the Farmhouse style elevation.



Avoid roof lines not aligning at the entry of the home and protruding into the brick arch above the entry porch.

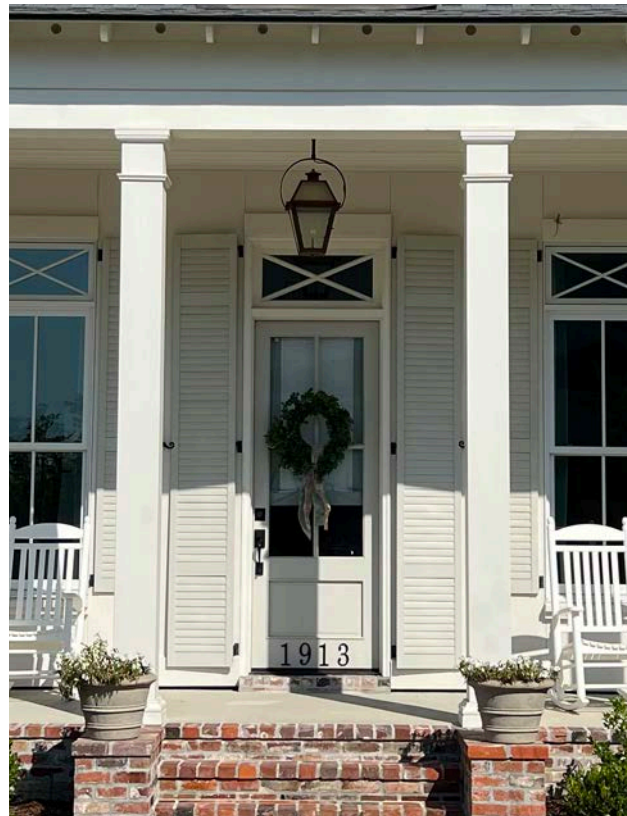
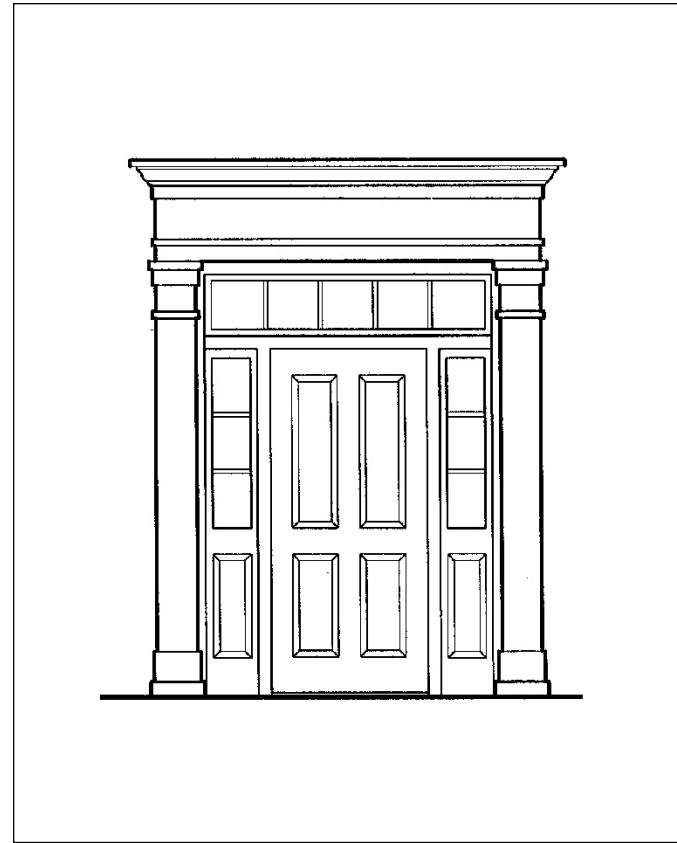


Avoid roof lines and gutters that protrude into the entry porch opening.



Avoid gutters at the entry that become a prominent feature of the arrival of a home and protrude into the archway.

Appropriate



Entries & Doors

- » The primary entrance shall be easily identifiable from the street and complement the overall architectural character of the home.
- » Sidelights are not encouraged, however if used, shall complement the door and overall entry composition.
- » Transoms must have a minimum height of 1'-4" and shall be incorporated as a single door/transom unit with continuous casing trim. Over scaled, two-story, or separated transoms are not permitted.
- » Stamped metal doors are not permitted for front doors.
- » Storm doors are not permitted at front doors or any other door visible from the street or common open space.
- » Screen doors, if used, must be wood and consistent with the overall architectural character of the home.
- » Single entry doors are preferred. Double entry doors are not encouraged, but may be considered when appropriate to the architectural style or character of the home.
- » 8'-0" tall entrance doors are required for front and public side entries.
- » Front door glazing shall be true or simulated divided lights with 5/8" to 7/8" muntins.
- » Muntins located between glass or inside of glass are not permitted.
- » Muntin patterns on door glazing shall match or complement the muntin patterns on the windows.
- » Glazing may be clear, beveled, or authentic restoration type. Leaded glass on doors is permitted only when appropriate to the architectural style or character of the home.
- » Door casings, trim, and mouldings shall be designed and selected to complement the overall architectural character of the home.
- » Openings for doors in brick or stone clad walls shall use a brick mould at the head and jamb.
- » All door trim, window trim, and corner boards on siding clad walls shall project from the face of the adjacent siding.

GENERAL PROVISIONS

Inappropriate



Brick mullion between ganged windows is inappropriate.



Header and sill are too wide.



Horizontally-proportioned panes must be appropriate to style.



Window lacks muntins.

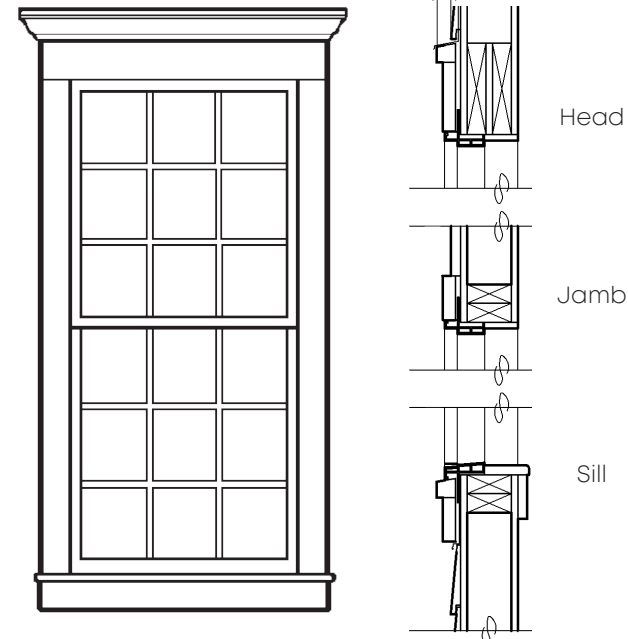


Surround and lack of brick mould make this window inappropriate.

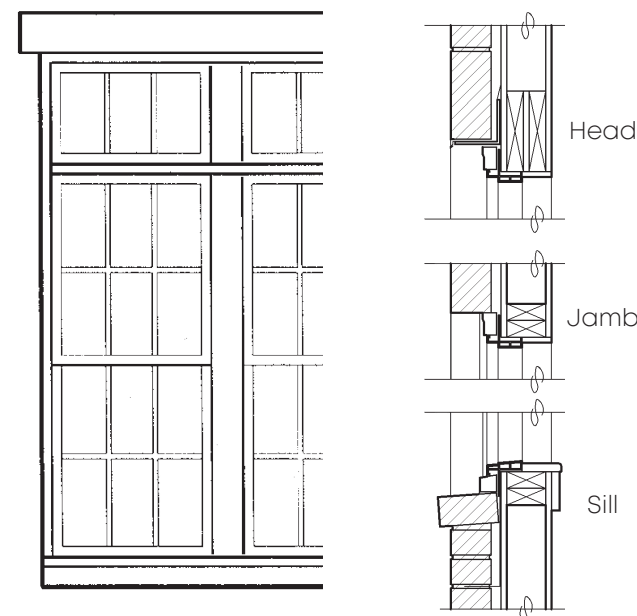
Appropriate



Siding Clad Detail



Brick or Stone Clad Detail



Windows

- » Window types, sizes, styles, trim, and locations shall be appropriately designed and detailed to complement the architectural style or character of the home.
- » Windows shall be vertically proportioned. Undersized, short, multi-arched, or shaped windows are not permitted.
- » Window and door heads shall be aligned and a minimum of 8'-0" above the finished floor. The common 6'-8" head height is not permitted.
- » Windows shall be trimmed and/or banded appropriately according to the adjacent finish material.
- » Windows in siding walls shall have minimum 4" fiber cement or composite trim. The trim configuration sizes and profiles shall be consistent with the style.
- » Skylights are not permitted when visible from the street or common open space and shall be flat or low-profile if used.
- » Window glazing is preferred to be true or simulated divided lights with 5/8" to 7/8" projected muntins.
- » Muntins located between glass or inside of glass are not preferred.
- » Muntin patterns shall be appropriate to the architectural style or character of the home.
- » All windows shall have an expressed sill, either an added 1 1/2" to 4" sub sill, and/or a sill detail within the wall material plane.
- » Windows in brick or stone walls shall have a precast or brick soldier course header and a precast or brick rowlock sill.
- » Windows in brick or stone walls shall use a brick mould or wood trim at head and jambs and a projecting sill nose placed between the brick mould jambs and the sill.

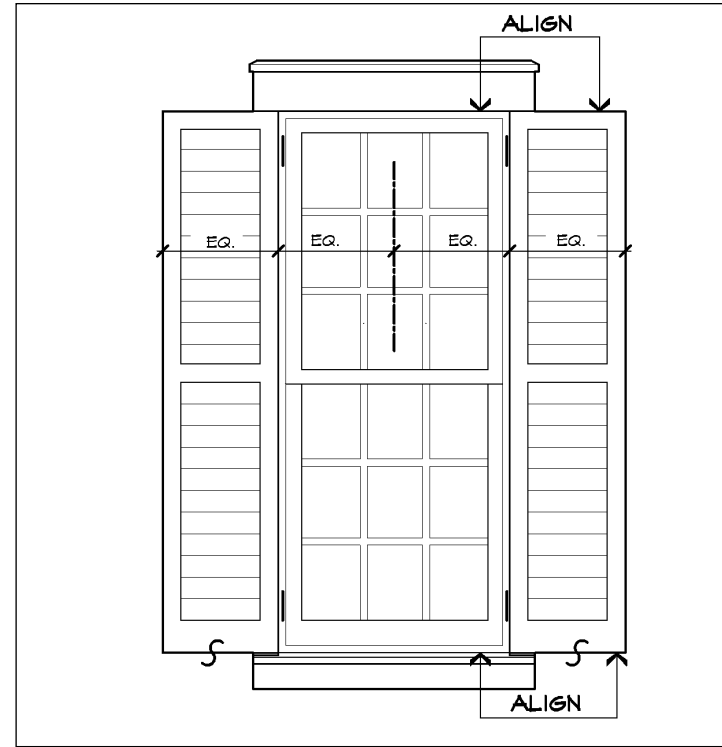
GENERAL PROVISIONS

Inappropriate



“False” decorative shutters mounted to the wall. Shutters do not match the width of the windows.

Appropriate



Shutters

- » Shutter height shall be equal to the window opening height and width shall be sized to appear to completely close over the window.
- » Shutters are not permitted on double or grouped windows.
- » Shutters shall be cedar or composite material. Foam, stucco, aluminum, or other materials are not permitted.
- » Shutters shall appear operable with recommended appropriate hardware.
- » Shutter dogs (tiebacks) shall be located along the bottom rail or lower section of the shutter. Hinges shall be placed to appear operable.
- » Shutters may be paneled, louvered, or board and batten depending on the architectural style or character of the home.

Inappropriate



Dormer overhang is too deep.



Small glass area, frame is too wide.

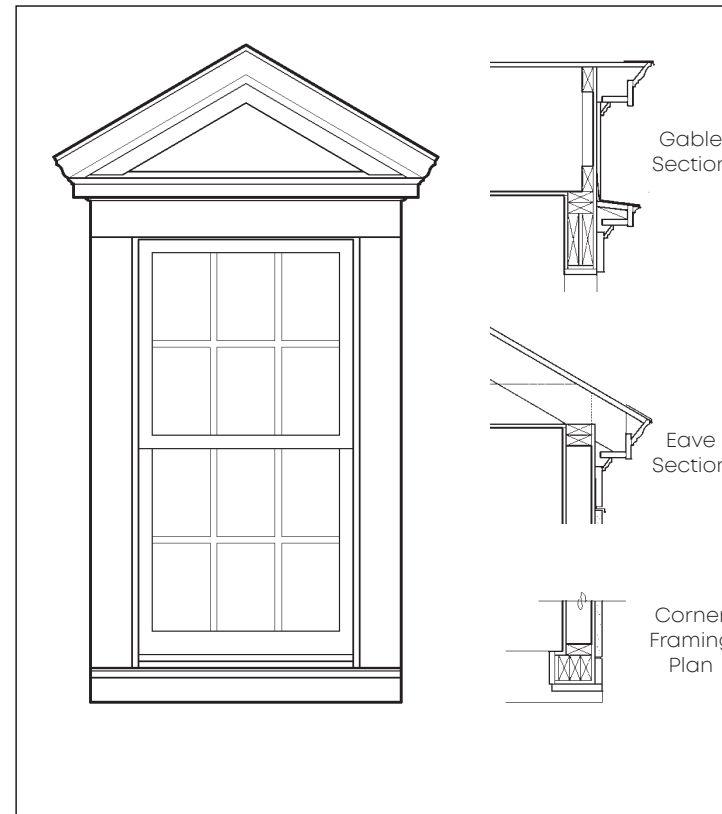


Overhang is too deep, too much wall area, trim width is not proportional to window size.



Overhang and rakes are too deep.

Appropriate



Dormers

- » Dormers shall be designed as secondary architectural elements that complement the overall architectural character of the home.
- » Dormers shall be designed with the same details and quality whether they are functional or nonfunctional.
- » Dormer roofs may be hipped, gabled, shed, or arched as appropriate to the architectural character of the home.
- » Dormers shall be vertically scaled and proportioned and shall tightly frame the window. Exceptions may be permitted when appropriate to the architectural style or character of the home.
- » Dormer window size and type shall be appropriate to the architectural style or character of the home and have vertical pane proportions.
- » Dormer overhangs and rakes shall be tight to the main body of the dormer.

GENERAL PROVISIONS

Inappropriate



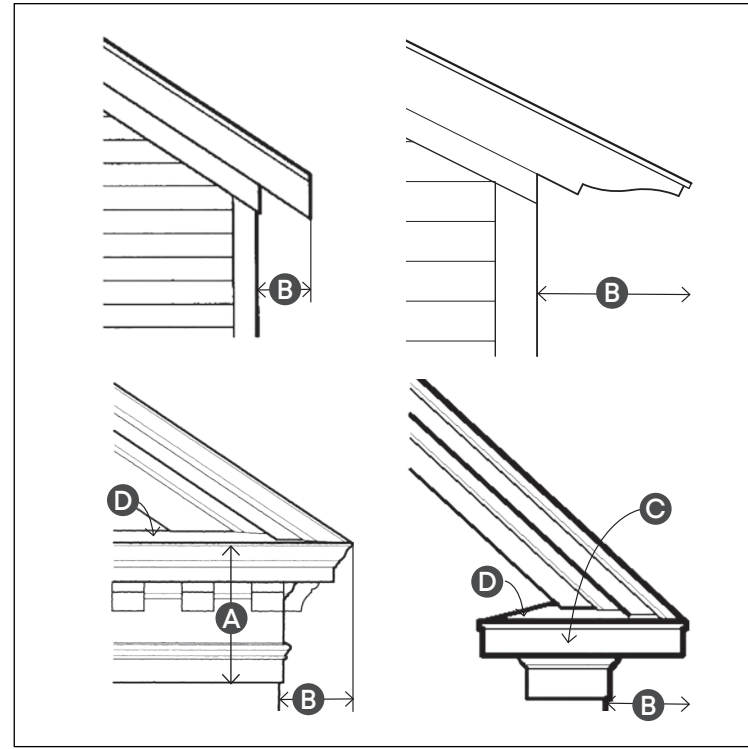
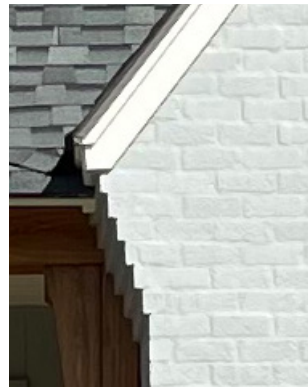
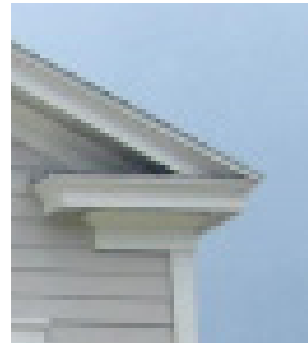
Roof pitch of cornice returns is too steep.



Deep overhangs shall not terminate with an oversized "box" cornice detail or large cornice return.



Appropriate



Cornices, Rakes, & Eaves

- » The appropriate selection, detailing, materials, and implementation of cornices and rakes is critical for any architectural design.
- » Cornices shall be proportioned to define the top of the building wall but not overpower the facade elements beneath. **A**
- » Cornices and eaves shall project out horizontally from the vertical wall plane to create depth on the facade. **B**
- » Gable ends shall have cornice returns when appropriate to the architectural style or character of the home. **C**
- » Roofing or flashing material above cornice returns shall not be visible from the ground level. **D**
- » The roof pitch on a cornice return shall not exceed 3/12.
- » Cornices shall have a frieze board painted to match the adjacent trim.
- » All cornices, friezes, rakes, and similar architectural trim elements shall be constructed of wood or a quality composite material.
- » Vinyl or aluminum trim, soffits, and accessories are not preferred and specific material must be approved by the ARC.

Inappropriate



Chimney depth does not reflect traditional masonry construction.



Lap siding shall not be used as a finish material for a chimney.



Exposed pre-finished terminations are inappropriate.

Appropriate



Chimneys

- » Chimneys shall be constructed to appear as "real" masonry chimneys and to complement the architectural character of the home. The width and depth shall be clearly defined and the height shall meet or exceed the minimum per code for a masonry fireplace / chimney.
- » Chimneys must be faced consistently on all sides with brick, stone, or stucco. Siding or stucco board on chimneys is prohibited.
- » Decorative chimney pots recommended to screen spark arrestors and other typical prefabricated flue terminations.
- » Direct vent exhausts shall not be placed on the primary facade or any other facade that is visible from a public way.
- » Direct vent exhausts shall be painted to match the roof or wall where they are located in order to reduce their visibility.
- » Chimneys may encroach into the side yard setback up to 24".

EXTERIOR MATERIALS

Inappropriate



Too many materials (brick, stone, and board and batten) being used in combination. Heavier material (stone) placed above lighter material (brick).



Overly elaborate brick work and patterns shall be avoided.



Too many materials (stone, horizontal siding, shingle siding, and board and batten) being used in combination.

Appropriate



GENERAL GUIDELINES

- » All exterior finish materials shall be appropriate to the style.
- » All elevations of the main body of the house shall maintain a consistent palette of materials, finishes, and colors.
- » Changes in materials shall occur at inside corners or at horizontal transition lines that relate to window sills or wall plates.
- » When multiple materials are used, heavier materials shall always be placed below the lighter.

BUILDING FACADES

- » High-quality exterior finish materials, such as brick or painted brick, stone, hard coat stucco, man-made stone, and cementitious or composite siding and trim is encouraged. Other materials may be allowed by the ARC.
- » All visible flashing shall be copper, painted galvanized, or painted aluminum and shall be kept to the minimum height required by good practice and counter flashed by the wall material where feasible.
- » Brick shall be standard or queen size and have a limited range within any color blend. The use of “king” and other non-modular brick sizes is strongly discouraged.
- » Overly elaborate brick work and patterns such as brick quoins, ornamental herringbone designs, clinker brick, and excessive brick projections are not approved and are examples of inappropriate brick work.
- » Lap siding shall have an exposure appropriate to the style.
- » Cementitious siding material is encouraged for long term maintenance benefits.
- » Vinyl or aluminum siding, E.I.F.S., stucco board, or “softcoat stucco” is not allowed without ARC review and approval of specific material.
- » Roll out patio covers shall not be used on facades facing streets or common open spaces.
- » All foundation walls up to the finished first floor shall be of a masonry material as a water table.

ROOFS & EAVES

- » Residential roofs shall be clad as appropriate to the style in composite shingles, standing seam metal, terne, slate, clay tiles, or dimensional asphalt shingles. Synthetic materials similar or superior in appearance and durability may be allowed by the ARC.
- » Low-pitched porch and bay roofs are preferred to be standing seam, pre-finished metal or copper.

GENERAL PROVISIONS

Inappropriate



The fixture obscures architectural detail and is mounted too high.



The fixture is oversized.



The light fixture is too small and is mounted too high.



The contemporary fixture is not in character with the rest of the home.

Appropriate



Inappropriate



Address should not be vertical and numbers are too large.



Address does not contrast background.

Appropriate



Exterior Lighting

- » The material and scale of exterior light fixtures shall be appropriate to the architectural style and character of the home when visible from a street or common public space.
- » Front or side entrance light fixtures may be ceiling-mounted, ceiling-recessed, or wall-mounted fixtures. Gas lanterns are preferred as accent fixtures.
- » Fixtures located above or to the side of front loaded garage doors shall be a wall-mounted down-light type.
- » Floodlights and spotlights shall not be used on any elevation visible from a street or common public space.
- » Ceiling fans visible from the street or public way shall be exterior grade and shall not have light kits.
- » Fixtures shall be designed to direct light onto the area intended to be illuminated and to avoid neighboring property.
- » Light sources shall be shielded or arranged to minimize unnecessary glare for pedestrians and cars.
- » Lighting color temperatures shall be 2700 - 3000K. Cool white, daylight, and colored bulbs are not permitted.

Addressing

- » These provisions are aesthetic in nature and shall not conflict with, or supersede, any U.S. Postal or Emergency Services requirements.
- » Stone address blocks are permitted on masonry homes.
- » Stacked address numbers are not permitted.
- » Address numbers shall not exceed 6" in height.
- » Address numbers shall be white, black, silver, or bronze and shall be in contrast to their background.
- » Mailboxes shall be ganged in centralized locations to vary per phase.

Accessory Structures

- » Pools, spas, and accessory structures shall be appropriate to the architectural style and character of the home.
- » Materials and detailing of accessory structures visible from the street or within public view must be approved by the Town Architect.

Driveways

- » On alley-loaded driveways, additional parking areas shall use tire strips. Large concrete pad areas are not acceptable.